

# WANAMAKER VILLAGE 7TH SEC.

WANAMAKER DR.

LINDBERGH

DR.

EATON ST.

FRANKLIN

| BLDG. | LINE | 100' | 100' | 100' | 100' |
|-------|------|------|------|------|------|
| 73    | LINE | 100' | 100' | 100' | 100' |
| 74    | LINE | 100' | 100' | 100' | 100' |
| 75    | LINE | 100' | 100' | 100' | 100' |
| 76    | LINE | 100' | 100' | 100' | 100' |
| 77    | LINE | 100' | 100' | 100' | 100' |



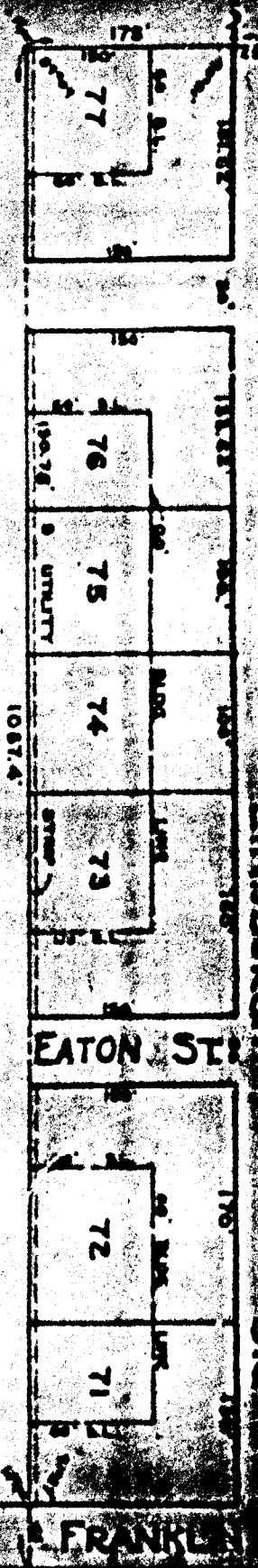
In view of the above, it is recommended that the State Board of Public Works and Control appropriate a sum of \$100,000 for the construction of a new bridge over the South Branch of the South River at the junction of the South Branch and the South River, between the two towns of Franklin and Eaton, in the County of Franklin, State of New York, for the purpose of connecting the two towns by a bridge across the South Branch of the South River, which bridge shall be constructed in such manner as to provide a safe and convenient passage for all traffic, and to afford a reasonable outlet for all persons and property in the vicinity of the proposed bridge.

WAN

32862

LINDBERGH

DR.



## WANAMAKER VILLAGE 7TH SEC.

1. The boundaries and corner points thereon in this plan are correct according to a subdivision of Part of the Town Sect. Quadra (H) in Section 31, Township 15 North, Range 3 East, in Marion County, State of Indiana, which were performed and recorded as follows:

Bounding at a point on the East line of Sec 14; Run, distance 650 feet South of the North East corner of the Town Sect. 14 or said Sec 31-15-3; running Indent South along said East line a distance of 400 feet; Indent West running an interior angle of 91 degrees and 57 minutes, a distance of 1087.4 feet; Indent North running an interior angle of 89 degrees and 59 minutes, a distance of 175 feet to a point that is the South West corner of WANAMAKER VILLAGE 7TH SEC., and the exterior line of Section 30, Sec 14; Indent East along the South East corner of Wanamaker Village 7th Sec., a distance of 325.62 feet; Indent North, having an interior angle of 91 degrees and 57 minutes a distance of 225 feet; Indent East a distance of 365 feet to the point of beginning, so running in all 7,28 acres more or less.

2. The subdivision consists of 12 lots and places numbered 60 to 77, both inclusive, and streets as shown below.

Lot 60 or lots and places or streets are shown on this plan in figures preceding 600 as decimal parts thereof.

Dates of original filing 20th day of June 1924

*John H. Johnson*  
Surveyor  
State of Indiana

Surveyor's Signature No. 307

3. The boundaries, lines, areas and marks, numbers and other, corners or lot edges, described above, are correct, so far as known, but no guarantee is made that they are accurate or true, nor that they are in accordance with law, nor that they are patentable. This subdivision is made at the risk of the parties.

4. The boundaries, lines, areas and marks, described above, are correct, so far as known, but no guarantee is made that they are accurate or true, nor that they are in accordance with law, nor that they are patentable. This subdivision is made at the risk of the parties.

5. The boundaries, lines, areas and marks, described above, are correct, so far as known, but no guarantee is made that they are accurate or true, nor that they are in accordance with law, nor that they are patentable. This subdivision is made at the risk of the parties.

All taxes and expenses incident to the making of this plan, and all costs of recording, shall be borne by the parties.

Wadsworth et al. 1973 unpubl. cont. details

4271 - 1

In general, the vegetation of the area is dominated by young trees and shrubs. There are some areas where the ground surface is covered with grasses and forbs, but these are relatively few and scattered. The vegetation is dominated by young trees and shrubs, with a few areas where grasses and forbs are dominant. The vegetation is characterized by a high proportion of young trees and shrubs, with a few areas where grasses and forbs are dominant.

The forest cover is approximately 60% of the area, with the remaining 40% being open land. The forest cover is dominated by young trees and shrubs, with a few areas where grasses and forbs are dominant. The vegetation is characterized by a high proportion of young trees and shrubs, with a few areas where grasses and forbs are dominant.

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Received by  
Resource Services no. 1006  
1006 - 1006

No such documents or records made or given rise to, or left in, the course of business and no other or domestic affairs has commercial substance.

With best regards,

John C. Gandy  
President  
John C. Gandy Company  
1000 Madison Avenue  
New York 22, N.Y.

RECORDED IN THE OFFICE OF THE SECRETARY OF STATE, NEW YORK CITY, ON JULY 26, 1954, AS A COPY OF THE DOCUMENT REFERRED TO IN THE PRECEDING DOCUMENT.

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# WANAMAKER VILLAGE 7TH SEC.

I, the undersigned, hereby certify that this plat is true and correct representing a subdivision of part of the South West Quarter (1/4) of Section 33, Township 15 North, Range 3 East, in Marion County, State of Indiana, being more particularly described as follows:

Beginning at a point on the East line of said 1/4 Sec., distant 650 feet South of the North East corner of the South West 1/4 of said Sec. 33-15-3; running thence South along said East line a distance of 400 feet; thence West making an interior angle of 91 degrees and 57 minutes, a distance of 1007.4 feet; thence North making an interior angle of 99 degrees and 00 minutes, a distance of 175 feet to a point that is the South West corner of WANAMAKER VILLAGE 7th Sec.; and the South line of Lincoln Drive; thence East along the South line of Lincoln Drive a distance of 325.62 feet; thence North, making an interior angle of 91 degrees and 57 minutes a distance of 223 feet; thence East a distance of 303 feet to the point of beginning, containing in all 7.28 acres more or less, subject, however, to all legal highways and/or rights of way.

This subdivision consists of 32 lots numbered from 06 to 77, both inclusive, with streets as shown below.

The size of lots and sizes of streets are shown on this plat in figures denoting feet and decimal parts thereof.

Witness my signature this 25th day of June 1954

*Ralph S. Schaefer*  
REGISTERED SURVEYOR NO. 3507  
STATE OF INDIANA

We, the undersigned, Frank Geppi and Hazel Geppi, husband and wife, owners of the above described real estate, hereby certify that we do hereby lay off plat and subdivide the same in accordance with this plat and certificate. This subdivision shall be known and designated as WANAMAKER VILLAGE, 7th Section.

The streets, if not previously dedicated, are hereby dedicated to public use.

There are strips of ground 3 feet in width as shown on this plat which are hereby reserved for use of public utilities, for installation and maintenance of poles, wires, pipes, ducts, drains, and sewers, subject at all times to the authority of the proper civil officers and to the purposes herein reserved. No permanent or other structure shall be erected or maintained on said strips, but such owner shall have full title subject to the rights of such public utilities and to the rights of owners of other lots in this subdivision, for travel and express in, along, across, and through the several strips so reserved.

All lots in this subdivision shall be 1/100 and designated as residential lots. No structure shall be erected, altered, placed or permitted to remain in any lot herein other than one single family dwelling, not to exceed 2½ stories in height, and a private garage for not more than three cars and beside-real accessory buildings.

No hotel, building, boarding house, rooming house, double house, duplex, apartment buildings, factory building or buildings of any kind for commercial use shall be erected or maintained in any lot in this subdivision except, therefore, corner lots, which may be constructed two way through houses.

No building structure or appurtenance thereto except fences shall be located within 5 feet of any side lot line. Where buildings are built upon more than one single lot, this restriction shall apply to the side lot lines of the extreme boundaries of the multiple lots. No surface buildings shall be erected or maintained nearer than 15 feet to any lot or property line upon which it is situated, including porches or attached garages.

No trailers, shacks, or any houses of a permanent or temporary nature shall be erected or situated on any lot except during the period of construction of a proper structure and for use by the builder for his material and tools.

No farm animals or flocks shall be permitted on any lot in this subdivision and no pets or domestic animals for commercial purposes shall be kept therein.

Building lines as shown on this plat in feet back from the street property lines are hereby established, between which lines and the street property lines, there shall be erected or maintained no structure of any kind or part thereof other than a one-story porch.

Private water supply and/or sewage system may be located, constructed and maintained to serve any building lot in this addition, provided said systems are approved by authority of the proper public and/or civil authorities.

The ground floor area of the main structure exclusive of one-story open porches, and garages shall be not less than 1200 square feet in the case of a one-story structure, and less than 900 square feet in the case of a 2½, 2, or 2 story structures.

No business trade or activity shall be carried on upon any lot in this addition, nor shall anything be done herein which may become an annoyance or a nuisance to the neighborhood at large.

The right to enforce the foregoing provisions, covenants and restrictions by injunction together with the right to cause the removal by due process of law of any structure, fixture, equipment, appurtenance, or other thing whatsoever, erected or maintained in violation hereof, is hereby dedicated to the public authorities, and shall be held by them in trust for the benefit of the public without being required to show any damage or any kind to any man, woman or child by or through any such violation or attempted violation. Injunction of any of these covenants or judgments to court order shall in no wise invalidate any other such covenant which shall remain in full force and effect. All the above restrictions and/or covenants shall be considered real covenants which shall bind each lot in this addition's name if any one and shall run with the land.

The foregoing restrictions, covenants, and provisions shall remain in full force and effect until January 1, 1975.

Witness our signatures this 24 day of July, 1954

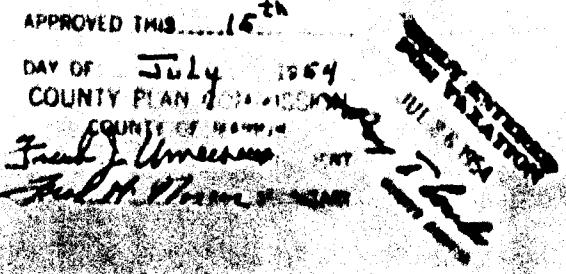
*L. Geppi*  
Frank Geppi  
Husband

*Hazel Geppi*  
Hazel Geppi  
Wife

APPROVED THIS 16<sup>th</sup>

DAY OF July, 1954  
COUNTY PLAN & ZONING  
CITY OF MARION

COUNTY OF MARION  
Frank J. Umiker, M.A.  
July 16, 1954



STATE OF INDIANA - S.S.  
COUNTY OF MARION -

Personally appeared before me, a Notary Public, to me and for said county and state, Frank Geppi and Hazel Geppi, who separately acknowledged the execution of the foregoing instrument as their voluntary act and deed for the use and purposes therein expressed, and affixed their signatures thereto.